

# The Carolina Club



## Guidelines for the Design of New Homes

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## Introduction

It is the intent of these guidelines to provide potential new Owners and their architects, designers and contractors with some clarification of the minimum requirements and design standards that must be met for a home design to be approved for construction in the Carolina Club. It is not the intent of these guidelines to replace the restrictions stated in the Declaration of Covenants. The guidelines are a supplement to the Covenants. The topics that are covered in the guidelines include preferred architectural style, site planning, building dimensions, building form, details and materials. Graphic examples and photographs are included to help illustrate the intent of the guidelines. They are examples only and are not intended to represent any desired prototypical home designs. And please note that while the examples given throughout these guidelines represent acceptable designs in most respects they are not perfect examples.



When planning their new home, Owners are encouraged to consider the entire context of the improvements to their lot. New home designs are evaluated by the Architectural Control Committee on the basis of the Owners comprehensive plan for making all such improvements to their lot. The Architectural Control Committee's objective in making these evaluations " . . . is to provide, enforce and maintain certain standards as to harmony of exterior design and location of the improvements on the Lot in relation to surrounding structures, natural features and topography" <sup>1</sup>.

Aesthetic quality is one of the most important considerations in the Committee's evaluation and the Committee maintains absolute authority over the acceptance or rejection of a design based on this quality. That said achieving higher levels of acceptable aesthetic quality need not be difficult. Through careful consideration of the building form, balance and proportion of major elements such as windows and doors and proper attention to the details that reinforce the architectural style, any home design should achieve a generally pleasing aesthetic composition.

It is the expressed desire of the Architectural Control Committee that new Owners can find within these guidelines sufficient flexibility that will allow them every opportunity to create a unique home design they will enjoy and be proud of.

1. AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS. THE CAROLINA CLUB amended September, 2008

## Architectural Style

The preferred architectural style for homes in the Carolina Club is referenced in the Covenants and commonly referred to as the "Southern Style". Southern style homes are generally characterized by certain qualities that evolved over several centuries of southern society and culture. The most common of these qualities is a welcoming entrance that is derived from the social concept of southern hospitality. The casual elegance of a southern style home is generally achieved through a careful mix of formal and informal spaces, the result of which is typically characterized as providing a sense of gracious living.

Southern style homes typically have a strong relationship of the indoors to outdoors and include generously sized porches and other outdoor living area. Designs of the porches provide a good example of the mix of formal and informal elements. The porch can be a place of casual enjoyment while providing a formal element in the overall form of the house.

Other features of Southern style home designs are tall ceilings, tall double hung windows with shutters, and French doors. Center halls historically provided for better cross ventilation. In today's home a Center hall still performs as primary circulation element, a location for stairways in two story homes and an entry point in both single and multi story homes. Raised brick foundations are also characteristic exterior details.

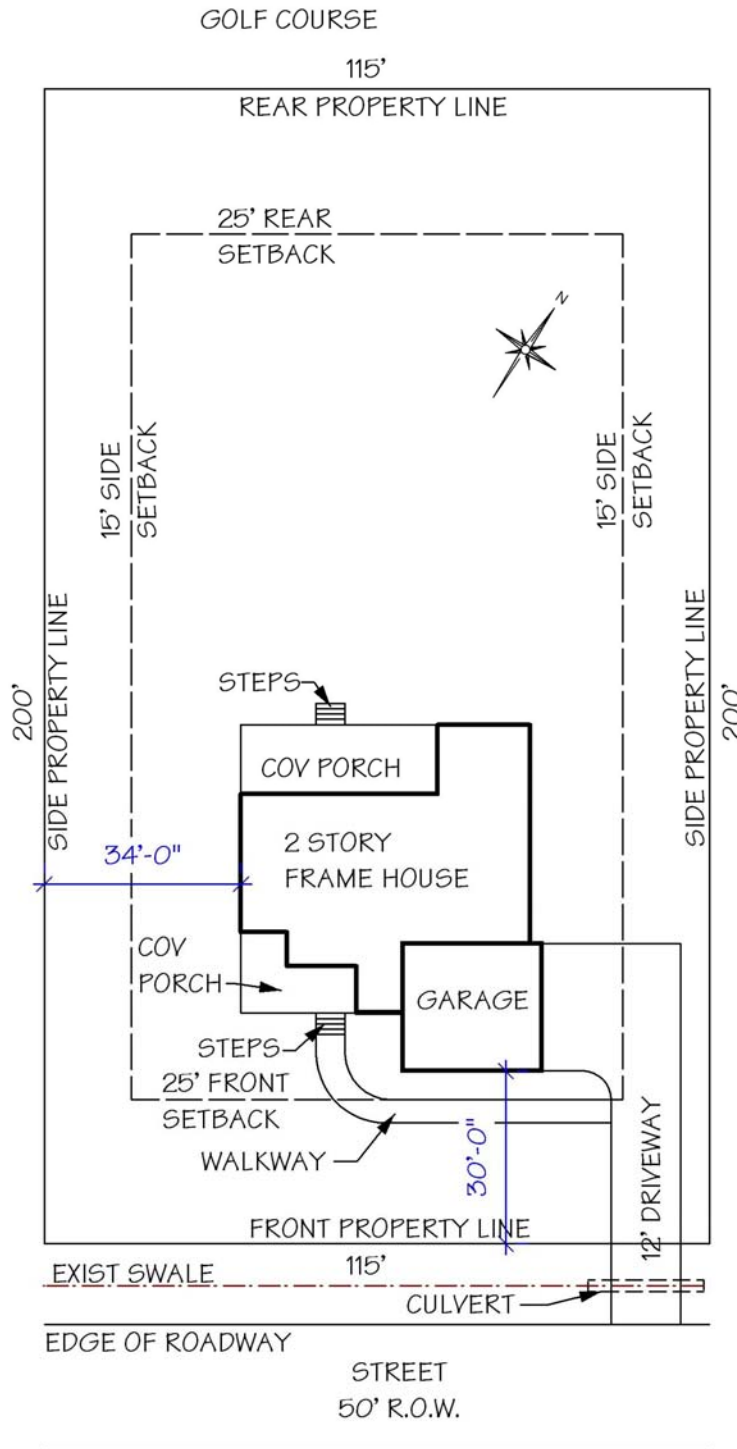
Classical details at the porch cornice and the well balanced symmetry of this house design are typical features of many Southern Style houses.



The welcoming entry, tall windows, brick foundation and steps of this house are also characteristic features of the Southern Style.



Site Planning

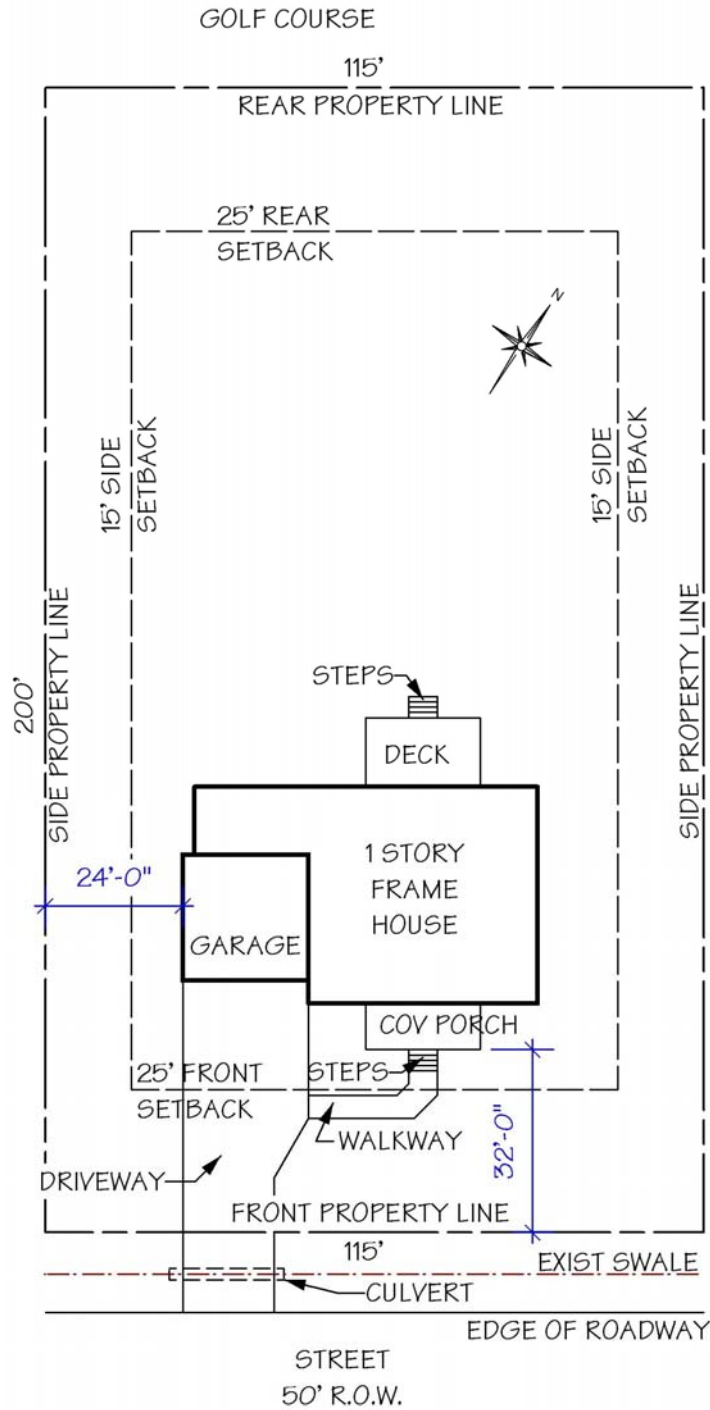


**SITE PLAN**  
SCALE: 1" = 30'

The sample site plan to the left shows the basic elements of the site plan. In this example the house is located just about in the front center of the lot. This house could be 5 feet closer to the street but a slightly greater front setback was chosen to get better alignment with adjacent houses. The garage doors in this example face the side of the lot which is the preferred orientation when the garage is located forward of the main body of the house.

A double width garage door may be considered for side orientated garages or garages that are located toward the rear of the main body of the house.

Each owner shall provide as a part of his dwelling unit an enclosed garage for the parking of two full sized automobiles.



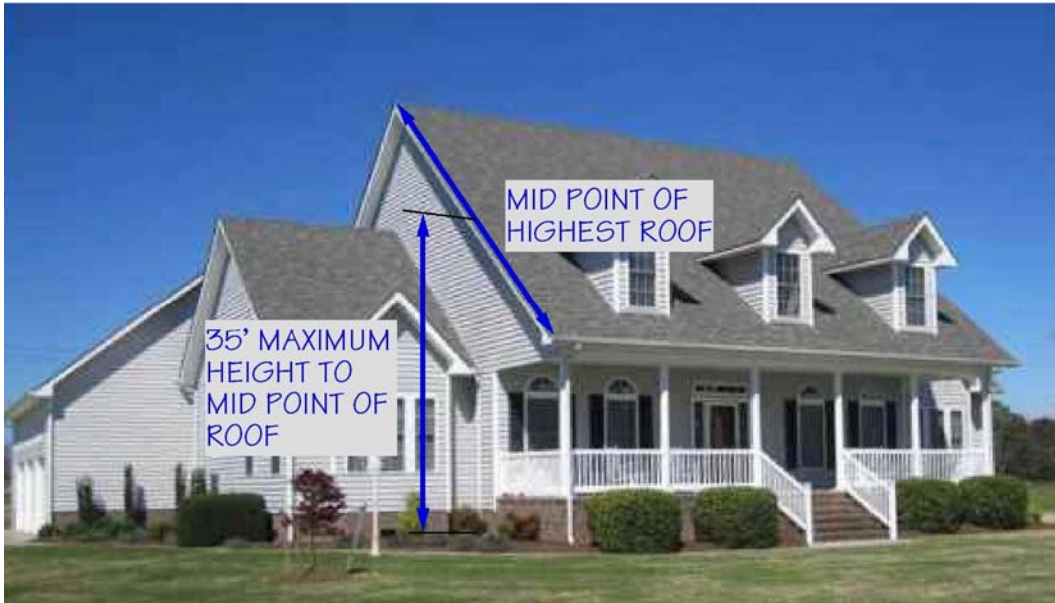
**SITE PLAN**  
SCALE: 1" = 30'

This example illustrates a one story house with a two car garage. The garage is located a few feet behind the main body of the house and the garage doors are oriented toward the street. In this case, two single width garage doors are preferred versus a double width garage door.

The natural features of the site, such as trees, other natural vegetation and topography should also be considered. Incorporating some natural features into the landscaping plan can be attractive, especially in a golfing community,

The Covenants are very explicit with regard to restrictions on altering existing vegetation and topography of any lot. Architectural Control Committee approval is required for any disturbance of natural vegetation, changes to the topography or drainage patterns.

## Building Dimensions



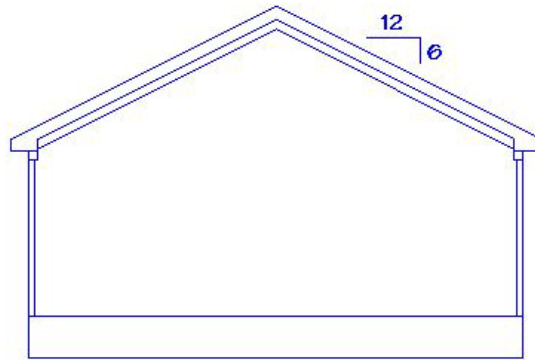
Building height is measured from the midpoint of the highest roof face regardless of the number of stories.

The minimum heated living area for the two story home in the above photo is 1800 square feet.



The minimum heated floor area for the one story home to the left is 1500 square feet.

The minimum roof pitch shall not be less than 6 to 12 for the house and 4 to 12 for porches. The ARC may determine that a steeper pitch may be required to achieve a better balance or acceptable proportion in building form. Steeper pitches are more typical for Southern Style homes that would generally be accepted in the Carolina Club. For example, the roof pitches in the above photos are approximately 10 to 12 and 12 to 12.



### Building Form and Design

The following example houses represent general design concepts that reflect or come close to reflecting a Southern Style design that would be acceptable in the Carolina Club. When working with similar design concepts, owners, designers and contractors should take care to be sure they are meeting the specific requirements of the Covenants and other design standards covered in these guidelines.



The example to the left illustrates a one story design with a center hall entry and wings of varying symmetry.

The example to the right illustrates a one and a half story building form. This type would most likely have a partial second floor and therefore need to meet the minimum heated living area for a two story home (1800 square feet).





The examples on the left and below illustrate a few of the many possible building forms that are acceptable. A common theme among all of these examples is the use of classical building forms and detailing.

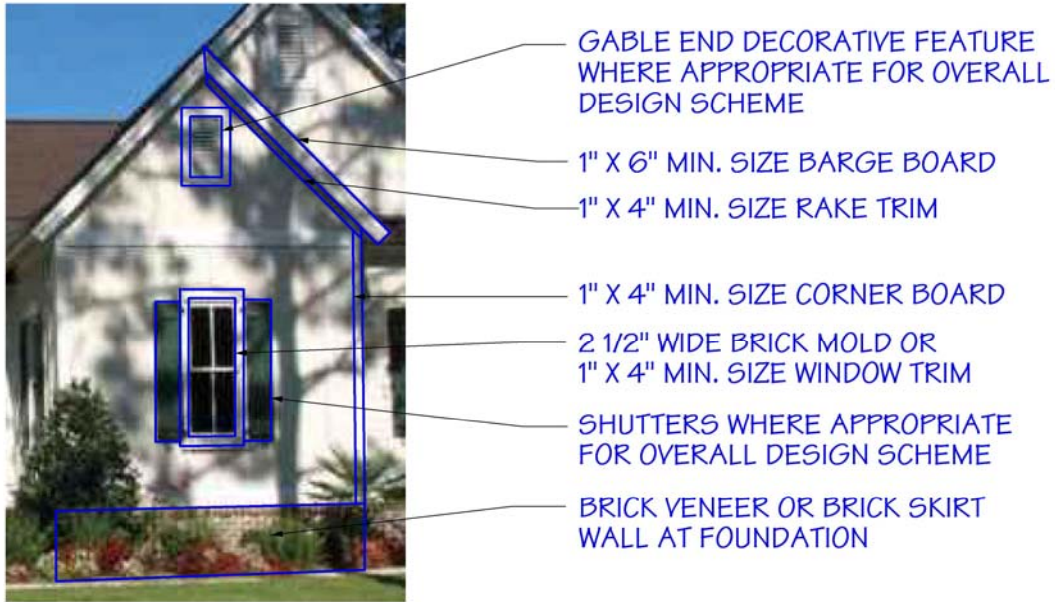


The example to the right shows the rear elevations of this home design. Aesthetic consideration should be given to every side of the house

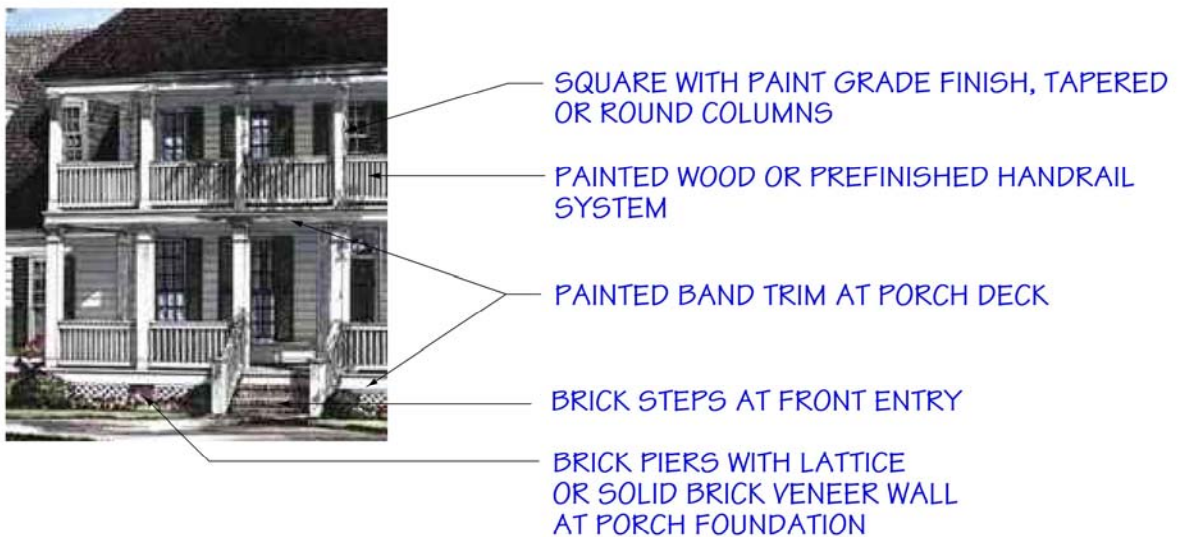


## Exterior Details

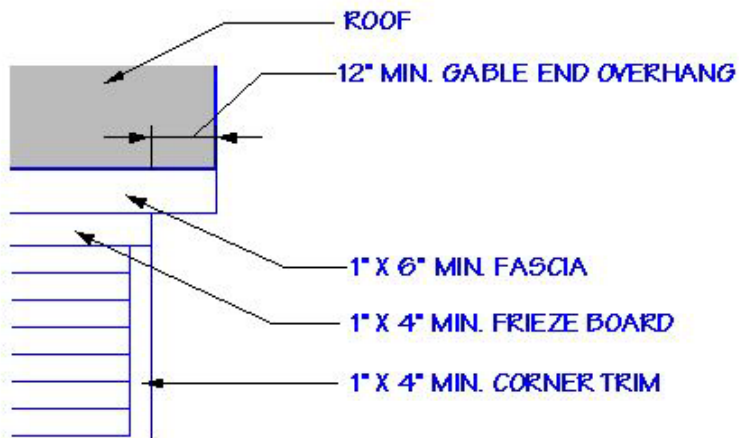
The following details represent preferred exterior details.



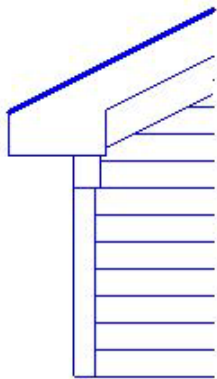
The gable end wall above illustrates preferred trim and other details.



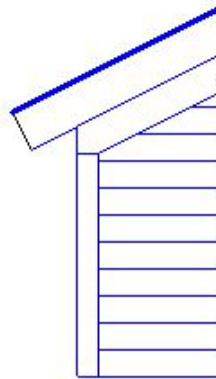
The two story porch illustrated above shows typical details for one and two story porches. Actual column sizes shall be in proportion to the overall design of the porch.



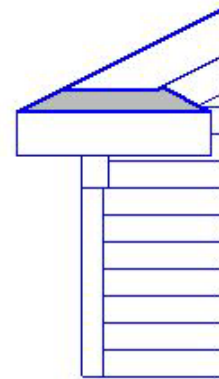
Roof overhangs shall be a minimum of 12" wide except at dormers where smaller overhangs as appropriate are allowed. In addition to the minimum gable end overhang width; this drawing illustrates minimum sizes for fascia and frieze trim boards.



Boxed "dog ears"



Sloped Soffit

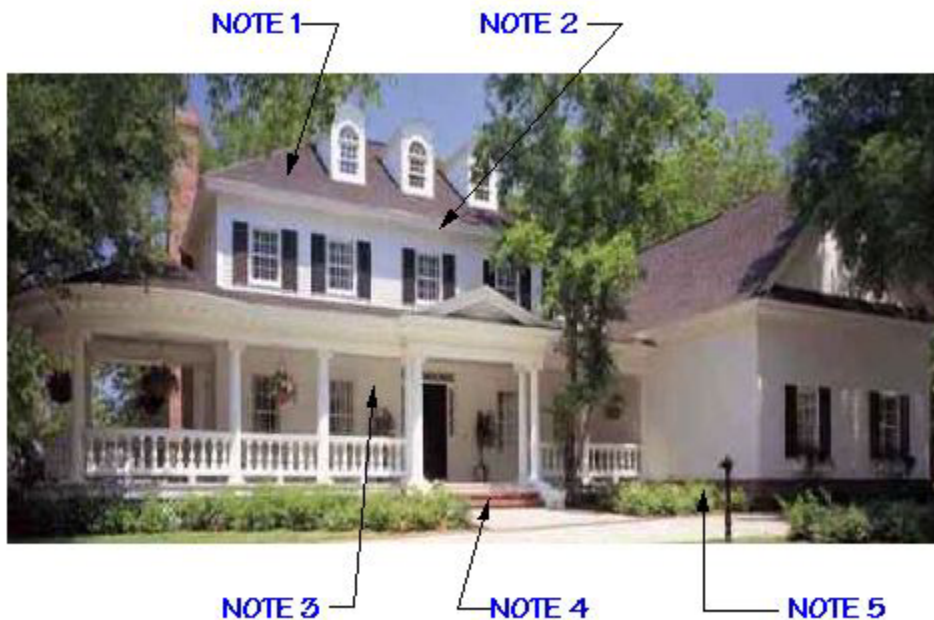


Return roof

Roof overhangs at the gable end can be either boxed "dog ears" or returned roof.

## Exterior Finish Materials

Selections for exterior finishes shall meet the standards described below and in the Covenants.



NOTE 1: ROOF MATERIAL – Roof shingles shall be minimum 30 year architectural style asphalt shingles or metal roofing.

NOTE 2: CORNICE & TRIM – The cornice which includes the fascia and frieze trim as well as corner boards, window and door trim and other exterior trim shall be painted wood, composite lumber or fiber cement trim board or pvc. All trim shall be either pre-finished or painted on site.

NOTE 3: SIDING – Siding choices include lap, shingles, or brick. Board and batten or decorative shingles are allowed as gable accents. Siding materials shall be brick, painted wood, composite lumber, fiber cement or vinyl.

NOTE 4: STEPS – The preferred material for front steps is brick. Rear or side steps may be treated wood, composite lumber or brick.

NOTE 5: FOUNDATION WALL – The exterior finish for the foundation wall shall be brick.

## References

1. AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS. THE CAROLINA CLUB amended September, 2008
2. CURRITUCK COUNTY UNIFIED DEVELOPMENT ORDINANCES, Currituck County, NC adopted September 4, 2007

## ADOPTED

The Guidelines for the Design of New Homes was approved by the Board of Directors at the August 17, 2011 Board Meeting.